



Dana DeBeauvoir

Dana DeBeauvoir, County Clerk
Travis County, Texas

Oct 29, 2021 04:07 PM Fee: \$ 78.00

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Electronically Recorded

STATE OF TEXAS §

COUNTY OF TRAVIS §

NOTICE OF DEDICATORY INSTRUMENTS
OF
WILLIAMSBURG HOME OWNERS' ASSOCIATION, INC.
(Fence Policy)

Document reference. Reference is hereby made to that certain Declaration of Covenants, Conditions and Restrictions for Williamsburg, A Planned Unit Development, recorded at Volume 6820, Page 1628 in the Deed Records of Travis County, Texas (together with all amendments and supplemental documents thereto, the "Declaration").

Reference is hereby made to that certain Bylaws of Williamsburg Homeowners' Association, Inc., recorded as Document No. 2011031991 Volume 6820, Page 1628 in the Official Public Records of Travis County, Texas (together with all amendments and supplemental documents thereto, the "Bylaws").

Reference is hereby made to that certain Resolutions of the Board of directors Adopting Rules for the Williamsburg Homeowners Association, Inc., recorded as Document No. 2014032549 and the Notice of Dedicatory Instruments—Rules 2021, recorded as Document No. 2021219773, both of the Official Public Records of Travis County, Texas (together with all amendments and supplemental documents thereto, the "Rules").

WHEREAS the Declaration provides that owners of lots subject to the Declaration are automatically made members of WILLIAMSBURG HOME OWNERS' ASSOCIATION, INC. (the "Association");

WHEREAS the Association, acting through its board of directors (the "Board"), is authorized to adopt and amend rules and regulations governing the property subject to the Declaration and the operations of the Association pursuant to Article VII, Section 7.01 (a) of the Bylaws and state law; and

WHEREAS the Board previously voted to adopt the Fence Policy attached hereto, and is recording the Fence Policy to put all interested persons on notice.

WILLIAMSBURG HOME OWNERS' ASSOCIATION, INC.

Acting by and through its Board of Directors

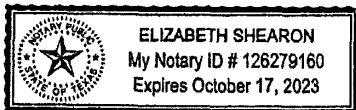
Angela South
NAME: Angela South
TITLE: Secretary

Acknowledgement

STATE OF TEXAS §
COUNTY OF TRAVIS §

This instrument was acknowledged before me on the 29th day of Oct 29th, 2021, by Angela South in the capacity stated above.

[Signature]
Notary Public, State of Texas



**WILLIAMSBURG HOMEOWNERS ASSOCIATION
FENCE POLICY STATEMENT**

May 2008

The Board of Directors and the Environmental Control Committee have jointly prepared the attached fence policy. The board has approved the document and adopted it as policy and issues it to become effective immediately.

Any homeowners desiring to rebuild, replace, or otherwise modify their privacy fences shall send a request to the Environmental Control Committee for approval in accordance with the attached "Fence Policy" and specifications. These guidelines will help simplify fence replacement for the homeowners and the approval process for the Environmental Committee.

Williamsburg Homeowners Association Fence Policy

Article XI of the Declaration of Covenants, Conditions, and Restrictions addresses the maintenance of environmental and architectural harmony and unity of the Association. The purpose of this fence policy is to establish the standards by which the fences in the Association are to be constructed and maintained.

This is the policy going forward from the above date. There is no intent for homeowners to make changes to existing fences in order to comply retroactively with this policy.

General Policy Requirements

All proposed changes to fences shall be submitted by homeowners to the Environmental Control Committee for approval under this policy.

Those properties that back up to Spicewood Springs present the Williamsburg/ Charleston Place Community to the public; therefore, those fences shall match in style and height.

Where there are a number of properties with fences that tie together in a common run, they shall all be of a consistent height and design.

Latticework is not allowed unless explicitly required, or explicitly made optional, in the details of a particular home in this policy.

All fences shall be cedar and either unpainted or coated with a natural preservative. No colored paint or stain shall be allowed.

All Charleston Place fences shall be constructed with 1 inch x 4 inch cedar pickets.

All Williamsburg fences shall be constructed with 1 inch x 6 inch cedar pickets.

Lattice shall be ¼ inch heavy.

Any request for a fence where there is currently no fence shall be presented to the Environmental Committee for consideration.

Williamsburg Homeowners Association Fence Policy

Fences to be Maintained by the Association

The fence area behind 3884 and 3886 will be maintained by the Association.

The fence at the main entry to Williamsburg/Charleston Place—
this fence shall be uncapped when replacement is necessary.

Fence between Charleston Place and Casner property—
this fence shall be 6 feet high solid. This fence shall be constructed with 1" x 6" cedar pickets and no capped headboard.

The fence on the south property line is the responsibility of the residents of Green Trails Estates and will therefore not be maintained by Williamsburg Homeowners Association.

Williamsburg Homeowners Association Fence Policy

Detail Property Requirements

This policy will address public facing fences for the following properties.

Those properties that back up to Spicewood Springs:

Williamsburg Circle 3702, 3704, 3706, 3708, 3712, 3714, 3716 and 3718—

Fence height shall be from the ground to 2 bricks (approximately 6 inches) below vertical cap on the brick posts (approximately 6 feet high). See attached Detail Drawing 1-A, page 8.

Timson Court 3700, 3702, and 3704, and Williamsburg Circle 3870, 3874, 3876, 3878, 3880, 3882, 3884 and 3886—

Fence height shall be from the ground to 2 bricks (approximately 6 inches) below vertical cap on the brick posts (approximately 6 feet high) to match the fences behind the Charleston Place homes, above.

Timson Court 3700, 3702, and 3704, and Williamsburg Circle 3870, 3874, 3876, 3878, 3880, 3882, 3884 and 3886—

Pickets on homeowners' decks shall be 1 inch x 6 inch and 6 feet high solid style.

Those properties that back up to common areas:

Timson Court 3701 and 3703—

Back fence shall be 6 feet high solid and the outside fence facing Williamsburg Circle shall be 6 feet high solid style.

Orrell Court 3700 and 3702—

Back fence shall be 6 feet high solid and the outside fence facing Williamsburg Circle shall be 6 feet high solid style.

Orrell Court 3701 and 3703—

Back fence shall be 6 feet high solid and the outside fence facing Williamsburg Circle shall be 6 feet high solid style.

Williamsburg Homeowners Association Fence Policy

Orrell Court 3800 and 3802—Since these homes do not have fences, the area below the deck shall be covered with natural cedar lattice that is either unpainted or coated with a natural preservative.

Orrell Court 3801 and 3803—Back fence shall be 6 feet high solid and the outside fence at 3801 facing Williamsburg Circle shall be 6 feet high solid style.

Griffin Court 7901—Side fence shall be 6 feet high solid.

Griffin Court 7903 and 7905—Back fences facing Orrell Court shall be 6 feet high, solid, and sloped matching the natural slope of the land.

Griffin Court 7907 and 7909—Back fences shall be solid sloped or stair-stepped. However, both houses shall have the same fence and if there is a change, both houses must change at the same time. If there is no agreement between the homeowners of 7907 and 7909 Griffin Court to changing the fence, the fence shall remain stair-stepped.

Griffin Court 7900—Back fence shall be 6 feet high, solid, and sloped matching the natural slope of the land.

Griffin Court 7908 and Bracken Court 7907—Fences that face Williamsburg Circle shall be 8 feet high solid.

Bracken Court 7901—Side fence shall be 6 feet high, solid, and sloped matching the natural slope of the land.

Bracken Court 7900—Side fence shall be 8 feet high starting at the outside corner and sloped downward toward the house under the rain gutter.

Bracken Court 7900, 7902, 7904, and 7906—Back fences facing common area shall be 6 feet high, solid, and sloped following the concrete wall base.

Williamsburg Circle 380—Fence shall be 6 feet high and solid.

Williamsburg Circle 3707, 3709, 3711, 3715, 3717 and 3719—All fences shall be solid and the height shall be 67 inches at the west corner of 3719 and level to the east corner of 3707.

Williamsburg Circle 3815 and 3817—Both fences shall be solid and the height shall be 4 feet at the back southeast corner of 3817 and level to the northeast corner of 3815.

Williamsburg Circle 3804 and 3832—Side fence shall be 6 feet solid.

Williamsburg Homeowners Association Fence Policy

Williamsburg Circle 3843-3867 (odd numbers)—At the time this policy was set, the fences of these homes were not consistent as is currently required for a number of properties that tie together in a common run. An engineer's drawings serve to provide consistency. These engineering drawings are kept by the Williamsburg Homeowners Association President. As fences for these homes are replaced, they shall be replaced according to the specifications in these drawings and in accordance with this fence policy.

All these fences shall be 1" x 4" cedar pickets with 2" x 6" capped headboard. Top of fence level shall be 54" above the concrete electrical manhole behind the west corner of 3843 to the firelane at 3851. A level datum line has been established as a reference at 24" above the concrete electrical manhole. Starting at the fire lane at 3855, the datum line continues east and becomes the top of fence for 3857 through 3865. Fence height and datum line shall be 54" above another concrete electrical manhole behind the east corner of 3859.

A 24" high lattice framed to 27" shall be mounted on top of all fences from 3843 to 3865, except for 3855, where the top of that fence will be almost level with top of lattices of the other fences. The gates shall also have lattice to match. Because these fences face the common area and walkway, the lattice tops will provide additional privacy needed for all those homeowners.

The homes at 3847, 3849 and 3851 Williamsburg Circle that back up to this common area have varying terrain levels. To compensate for these terrain variations and as a base for these fences, there shall be a stepped single course stone block foundation laid which will provide a better appearance to the common area. The stones shall be 12" x 4" x 4" Sand Double Split Wall style. See Engineer's Drawing Number 1.

The heights of the pickets on these three fences will vary (see Drawing, No. 1) to achieve a fence line with a level top.

3855 Williamsburg Circle back fence shall be 2 feet high with solid pickets and capped with 2" x 6" treated or cedar headboard without lattice as discussed above.

3857 Williamsburg Circle back fence shall extend from the junction with 3859 to the existing stone wall and meet the same requirement as the fences described above. A framed lattice panel as described above shall be placed on top of the stone wall to give an appearance of uniformity.

Williamsburg Homeowners Association Fence Policy

3867 WB back fence shall be placed on top of the existing concrete wall. The fence height shall be 3 feet 8 inches above the west end of that concrete wall, and a 24" lattice framed to 27" shall be placed on top of that fence.

The Charleston Place homes along the west, south and east sides of Williamsburg/ Charleston Place subdivision that back up to common areas that are not visible from the streets shall maintain their fences as stated below and on attached detail Drawings 2-A to 5-A, page 9. A 24" lattice framed to 27" and mounted on top of the fences shall be the homeowners' option. Fences shall be 1" x 4" cedar pickets with 2" x 6" capped headboard.

Charleston Place—7902, 7904, 7906—Fences shall be 4 feet high at the southwest corner of 7902 and level to the northwest corner of 7904. 7906 fence shall be 4 feet high and step down to compensate for the sloping terrain. See Detail 2-A, page 9.

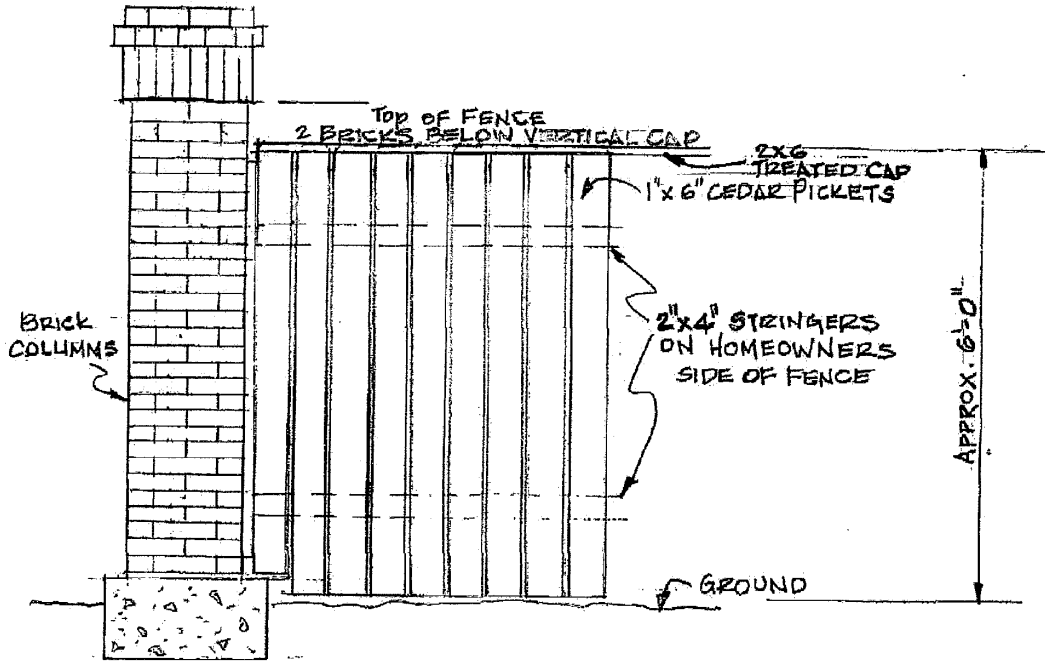
Williamsburg Circle—3822, 3824, 3826, 3828, 3830—Fences shall be 4 feet high at the southwest corner of 3830 and be level to the northwest corner of 3828. Fences at 3826, 3824 and 3822 shall be 4 feet high at the southwest corner of 3826, be level and each fence stepped down with the sloping terrain. See Detail 3-A, page 9.

Fences at 3810, 3812, 3814, 3816, 3818—shall be 4 feet high at the southwest corner of each lot and level to its northwest corner and stepped down with the sloping terrain. See Detail 4-A, page 9.

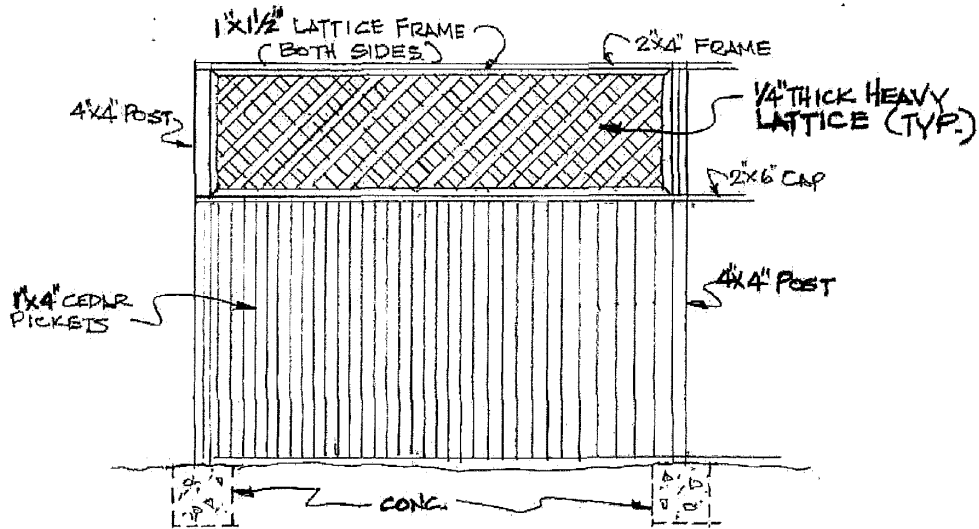
Williamsburg Circle—3804, 3806—Fences shall be 4 feet high, level and stepped down with the sloping terrain. See Detail 5-A, page 9.

Williamsburg Circle—3832 to 3866—Fences shall be 4 feet high and level.

Cavalry Court—7901 to 7919—Fences shall be 4 feet high and level.

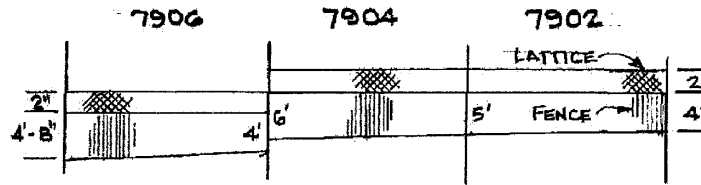


DETAIL 1-A
BACK FENCES - 3702 - 3718 WB CIRCLE

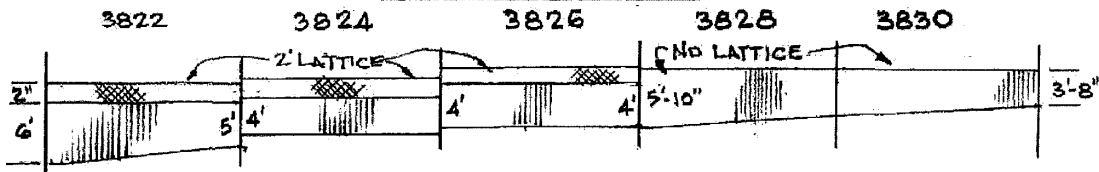


DETAIL 1-B
CHARLESTON PLACE FENCE / LATTICE DETAIL

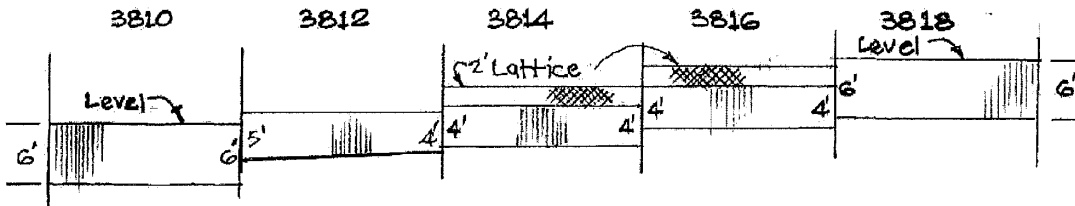
7902, 7904, 7906 CHARLESTON PLACE
Fence Detail 2-A



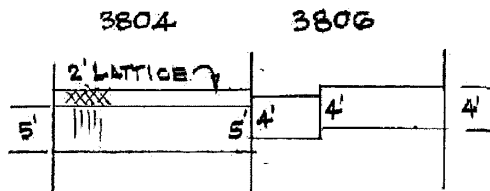
3822, 3824, 3826, 3828, 3830 WB CIRCLE
Fence Detail 3-A



3810, 3812, 3814, 3816, 3818 WB CIRCLE
Fence Detail 4-A

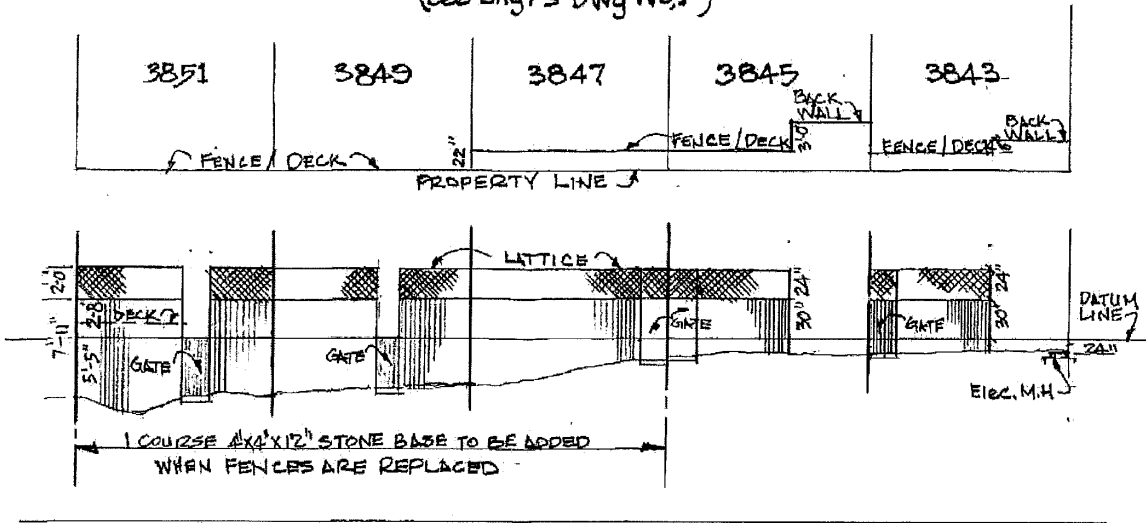


3804, 3806 WB CIRCLE
Fence Detail 5-A



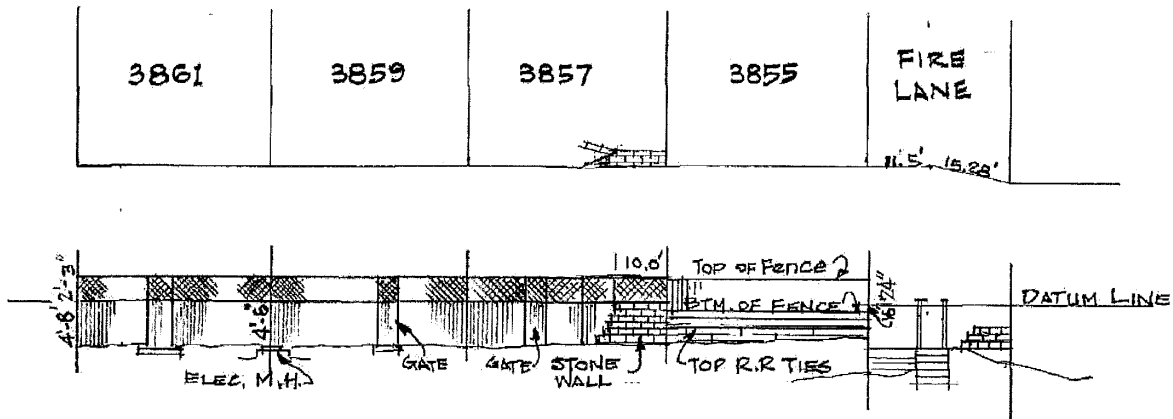
3843, 3845, 3847, 3849, 3851 WB CIRCLE

Fence Detail G-A
(See Engr's Dwg No.1)



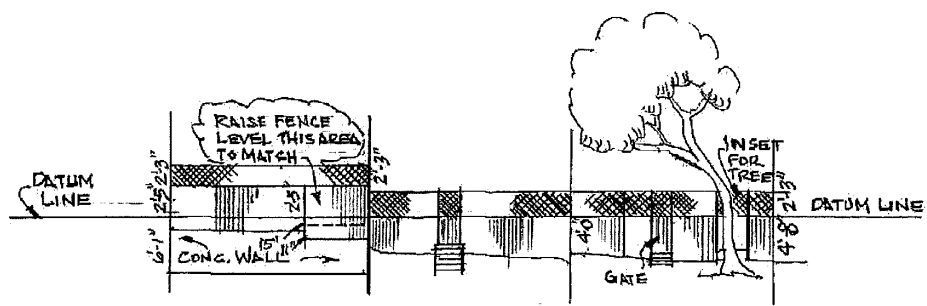
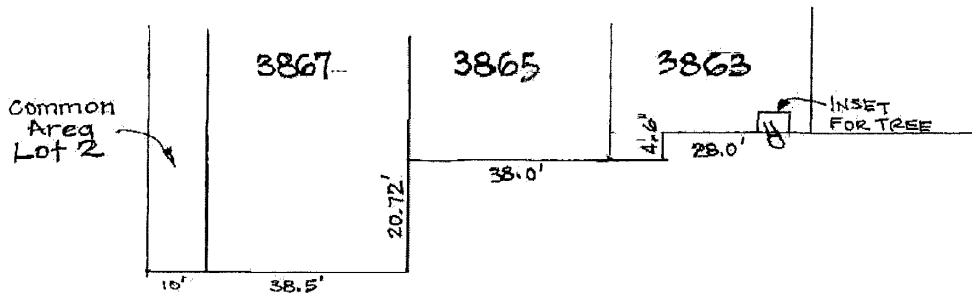
3855, 3857, 3859, 3861 WB CIRCLE

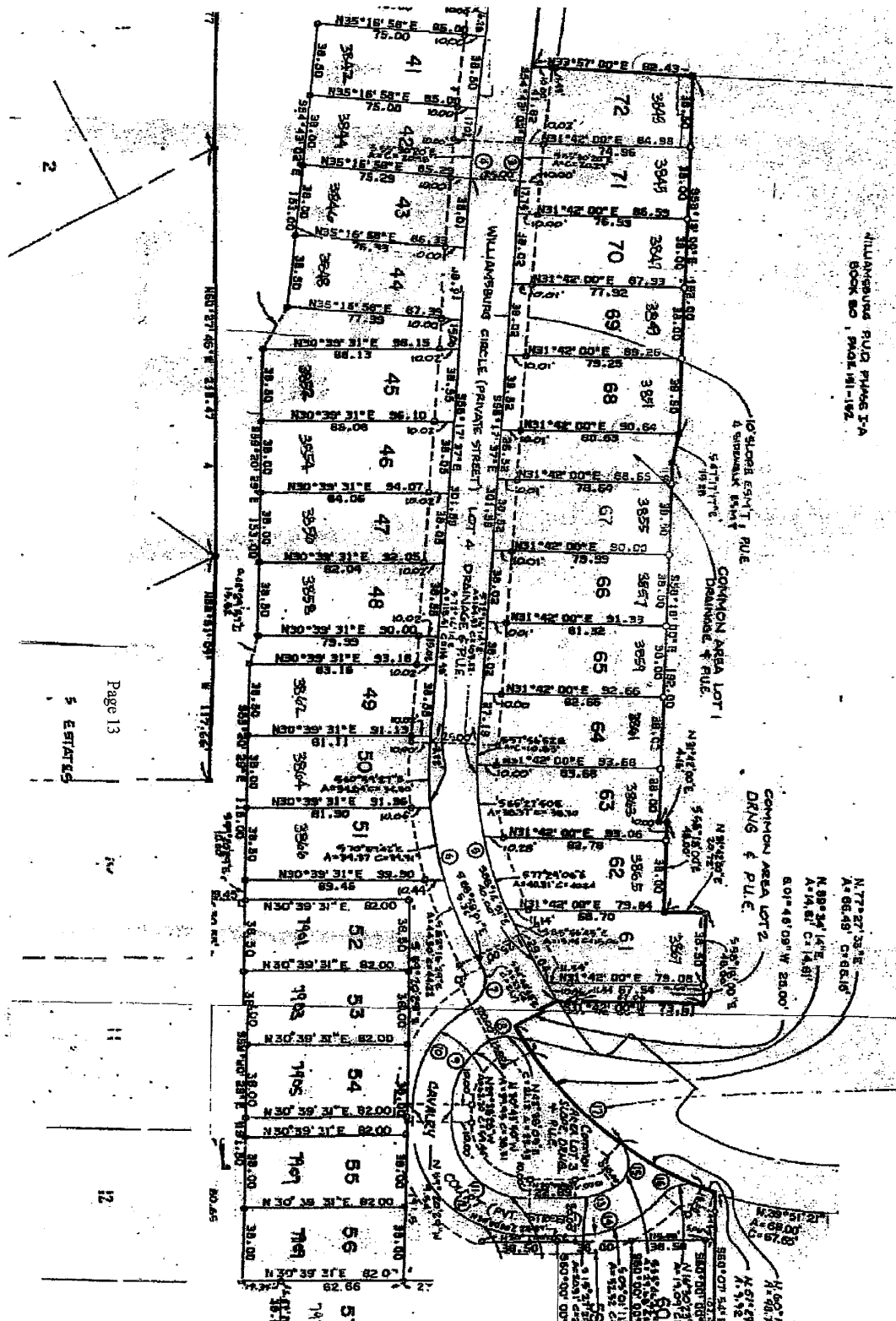
Fence Detail 7-A
(See Engr's Dwg No. 2)



3863, 3865, 3867 WB CIRCLE

Fence Detail 8-A
(See Engr's Dwg No. 3)





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