

LEGAL DESCRIPTION:
 LOT 2, NORTH CROSSING SUBDIVISION SECTION 3, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, RECORDED
 IN PLAT BOOK 82, PAGE 56 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.
 SURVEYOR'S DECLARATION

I, Roy D. Smith, do hereby certify that this survey was made on the ground by me or under my supervision and the plat hereon is a true, correct and accurate representation of the property as determined by survey. The lines, dimensions and corners of said property being as indicated by the plat. There are no visible or apparent encroachments, encroachments, conflicts or provisions except as shown hereon.

The map and property description contained herein contain all information required by Section 82.059 of the Texas Property Code.

SURVEYED BY
 ROY D. SMITH SURVEYORS, P.C.
 ROY D. SMITH
 REGISTERED PROFESSIONAL SURVEYOR
 1214 WEST 5TH STREET
 AUSTIN, TEXAS 78703
 P.M. (512) 478-9821
 5-11-05



TALLWOOD CONDOMINIUMS
 SHEET 1 OF 10
 SITE PLAN

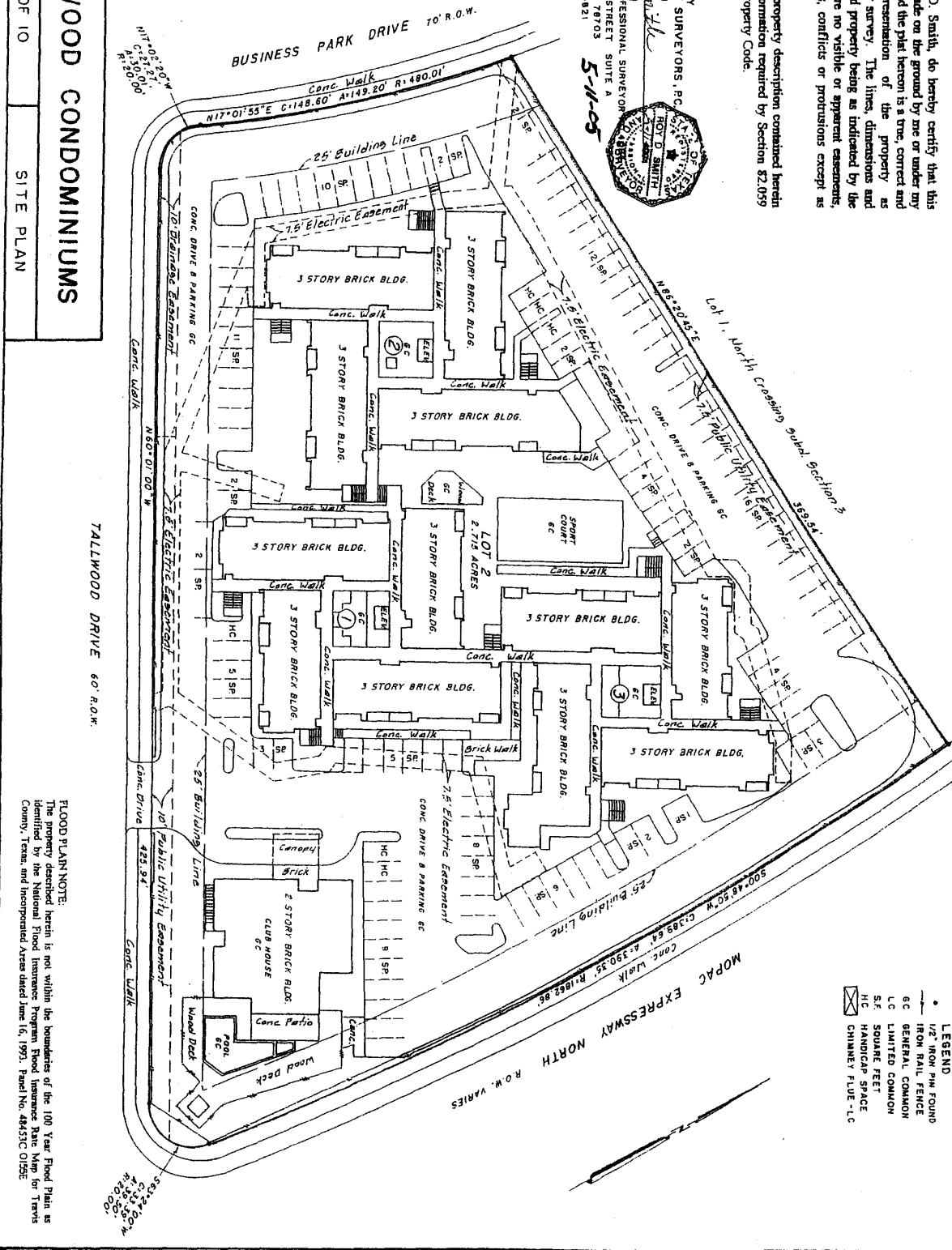


Exhibit B
 P.1

LEGEND

- IRON PIN FOUND
- IRON RAIL FENCE
- GC GENERAL COMMON
- LC LIMITED COMMON
- S.F. SQUARE FEET
- HC HANDICAP SPACE
- ☒ CHIMNEY FLUE - LC

SCALE

0 30 60 90

FLOOD PLAIN NOTE:
 The property described herein is not within the boundaries of the 100 Year Flood Plain as identified by the National Flood Insurance Program Flood Insurance Rate Map for Travis County, Texas, and Incorporated Areas dated June 16, 1993, Panel No. 48453C 0155E

TALLWOOD CONDOMINIUMS

SHEET 7 OF 10

BUILDING 2

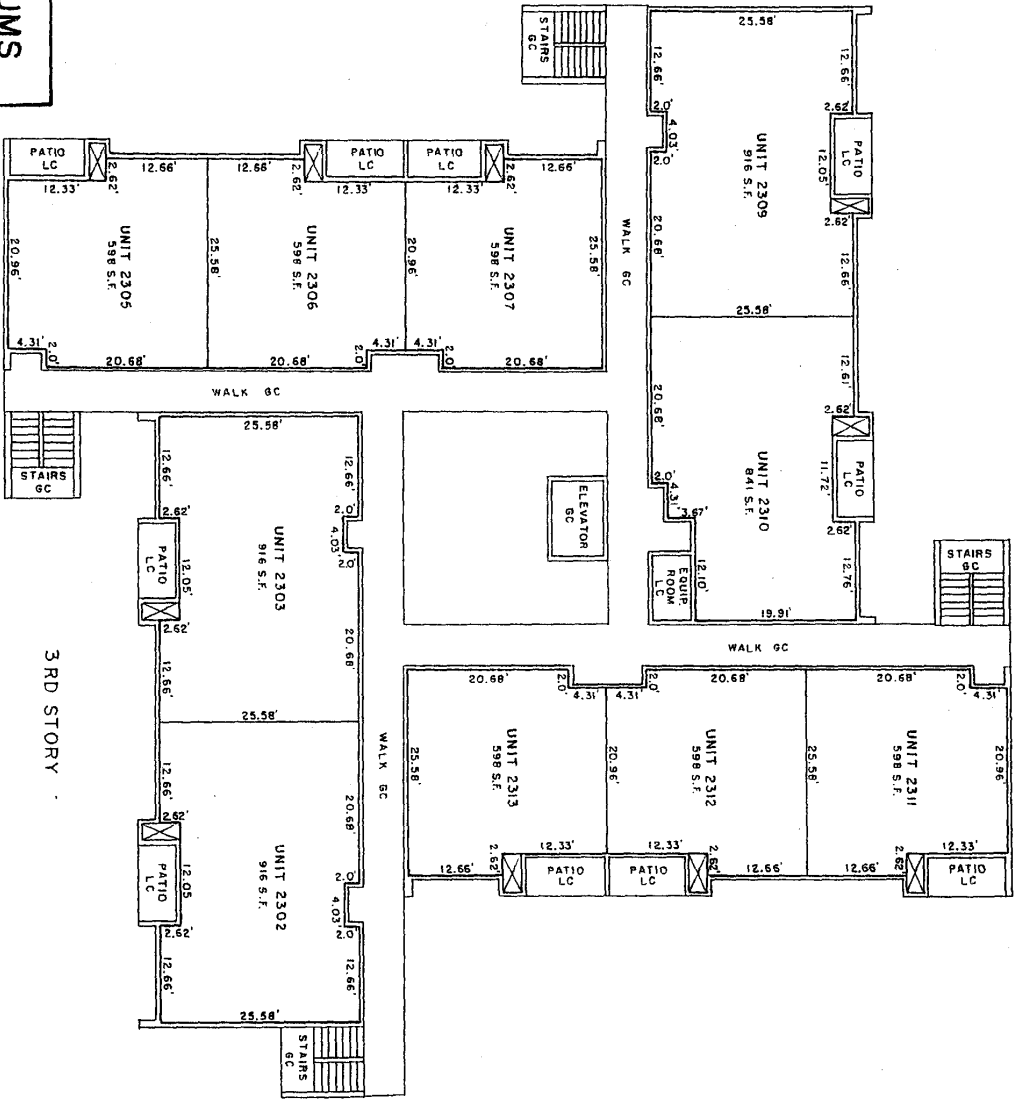


Exhibit "B" p.7

TALLWOOD CONDOMINIUMS

SHEET 8 OF 10

BUILDING 3

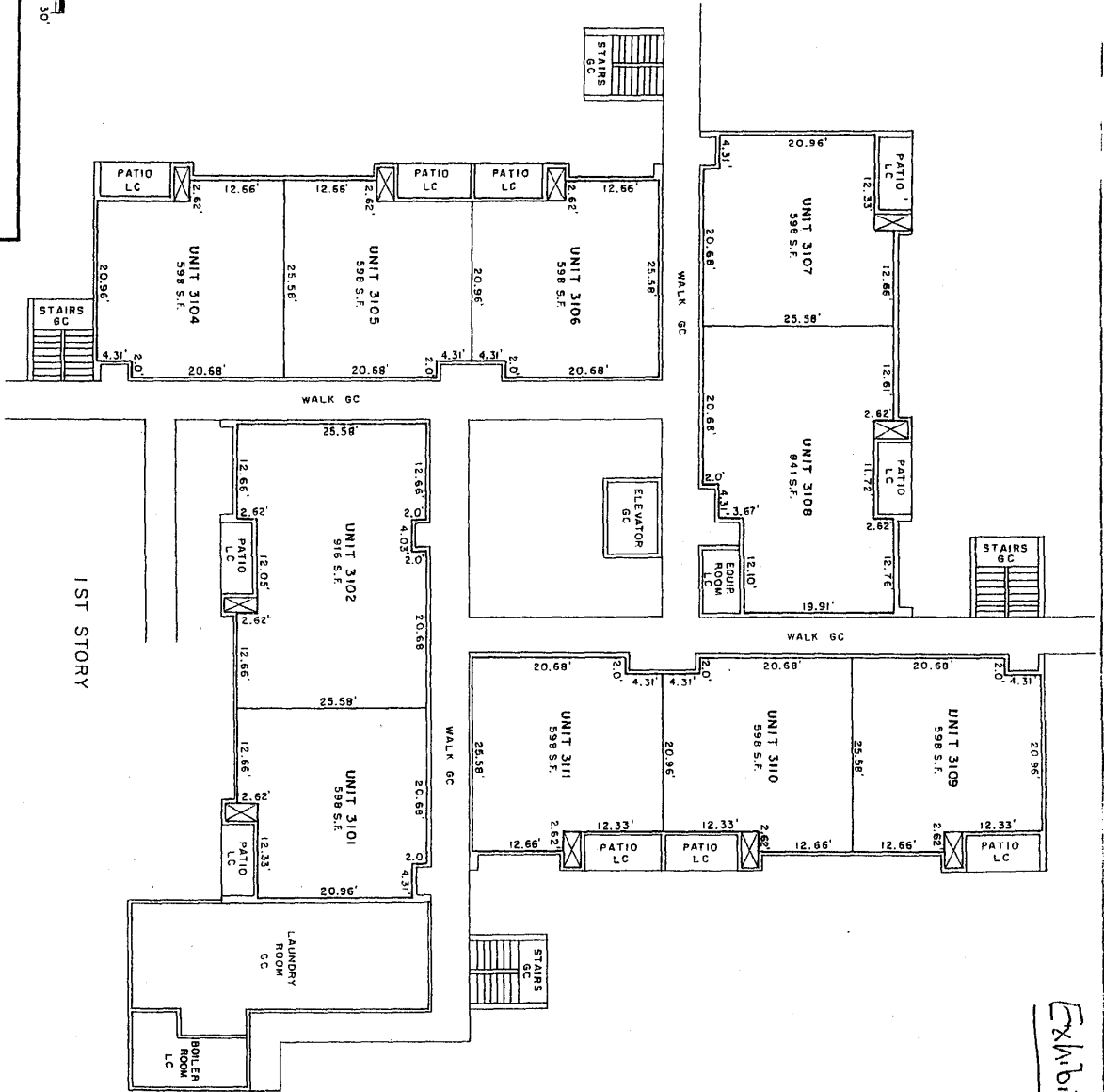


Exhibit "B" p. 8

TALLWOOD CONDOMINIUMS
SHEET 10 OF 10 BUILDING 3

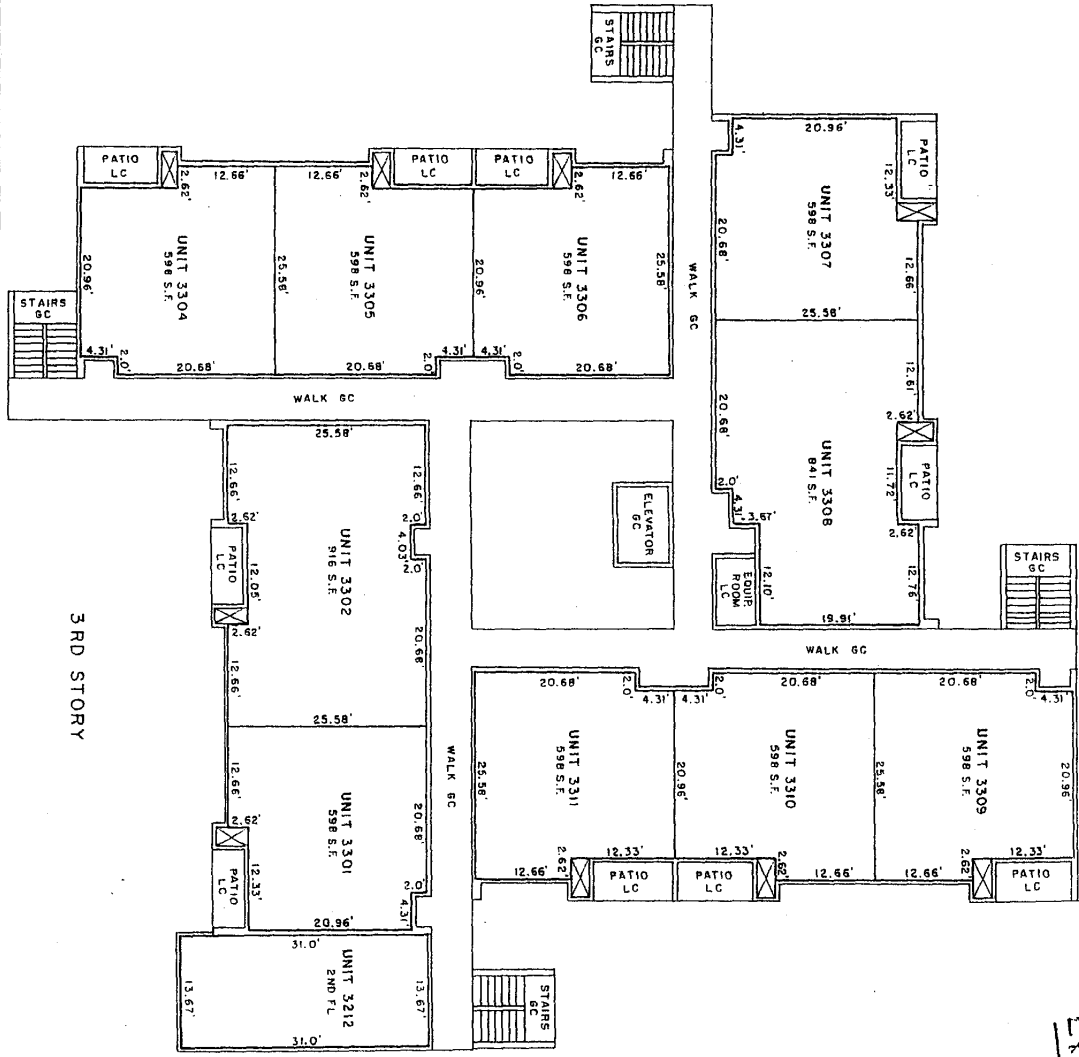
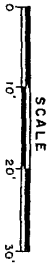


Exhibit "B"
P.10
of 10

EXHIBIT "C"
SCHEDULE OF PERCENTAGE INTERESTS

UNIT NUMBER	BUILDING NUMBER	SQUARE FOOTAGE	PERCENTAGE INTEREST
1101	1	598	0.98%
1102	1	916	1.51%
1104	1	598	0.98%
1106	1	1196	1.96%
1107	1	598	0.98%
1108	1	841	1.38%
1109	1	598	0.98%
1110	1	598	0.98%
1111	1	598	0.98%
1201	1	598	0.98%
1202	1	916	1.51%
1204	1	598	0.98%
1205	1	598	0.98%
1206	1	598	0.98%
1207	1	598	0.98%
1208	1	841	1.38%
1209	1	598	0.98%
1211	1	1196	1.96%
1301	1	598	0.98%
1302	1	916	1.51%
1304	1	598	0.98%
1306	1	1196	1.96%
1307	1	598	0.98%
1308	1	841	1.38%
1309	1	598	0.98%
1310	1	598	0.98%
1311	1	598	0.98%
2102	2	916	1.51%
2103	2	916	1.51%
2105	2	598	0.98%
2106	2	598	0.98%
2107	2	598	0.98%
2109	2	916	1.51%
2110	2	841	1.38%
2111	2	598	0.98%
2113	2	1196	1.96%
2202	2	916	1.51%
2203	2	916	1.51%
2205	2	598	0.98%
2206	2	598	0.98%
2207	2	598	0.98%

UNIT NUMBER	BUILDING NUMBER	SQUARE FOOTAGE	PERCENTAGE INTEREST
2209	2	916	1.51%
2210	2	841	1.38%
2211	2	598	0.98%
2213	2	1196	1.96%
2302	2	916	1.51%
2303	2	916	1.51%
2305	2	598	0.98%
2306	2	598	0.98%
2307	2	598	0.98%
2309	2	916	1.51%
2310	2	841	1.38%
2311	2	598	0.98%
2312	2	598	0.98%
2313	2	598	0.98%
3101	3	598	0.98%
3102	3	916	1.51%
3104	3	598	0.98%
3105	3	598	0.98%
3106	3	598	0.98%
3107	3	598	0.98%
3108	3	841	1.38%
3109	3	598	0.98%
3110	3	598	0.98%
3111	3	598	0.98%
3201	3	598	0.98%
3202	3	916	1.51%
3204	3	598	0.98%
3205	3	598	0.98%
3206	3	598	0.98%
3207	3	598	0.98%
3208	3	841	1.38%
3209	3	598	0.98%
3210	3	598	0.98%
3211	3	598	0.98%
3212			
3301	3	598	0.98%
3302	3	916	1.51%
3304	3	598	0.98%
3305	3	598	0.98%
3306	3	598	0.98%
3307	3	598	0.98%
3308	3	841	1.38%
3309	3	598	0.98%
3310	3	598	0.98%
3311	3	598	0.98%
TOTAL		60,777	100.00%

After recording return to:
Wallace H. Scott, III
3339 Bee Cave Rd., Suite 205
Austin, TX 78746

FILED AND RECORDED

OFFICIAL PUBLIC RECORDS

Dana DeBeauvoir

2007 Mar 08 01:50 PM 2007041669

CORTEZY \$68.00

DANA DEBEAUVOIR COUNTY CLERK

TRAVIS COUNTY TEXAS

Recorders Memorandum-At the time of recordation this instrument was found to be inadequate for the best reproduction, because of illegibility, carbon or photocopy, discolored paper, etc. All blockouts, additions and changes were present at the time the instrument was filed and recorded.